

There are two sets of structural information for the Black Bass (A) and (B). Names of the Engineers and their clients have been removed.

The following is structural information (B).

This Engineer, a licensed Pennsylvania and New Jersey Engineer with his office in northern New Jersey, was hired in January 2008 by a party that was interested in purchasing the Black Bass during the period that Traiman Company was preparing for the Auction of the Black Bass. Following the completion of the structural information the party made a purchase offer for the Black Bass but it was rejected by the Seller due to Buyers' terms.

GENERAL DESCRIPTION

The Black Bass Hotel/Restaurant is located between River Road and the Delaware River. The facility is comprised of an original central stone and timber building reportedly over two hundred years old and faces River Road. The original building is surrounded on both sides by newer additions and a rear addition was added extending the depth of the building. An enclosed deck in the rear was added when the retaining wall was constructed.

A stone faced concrete retaining wall, reportedly built in the 1980's, was constructed by the State and supports the entire length of the hotel/restaurant. Stone and timber retaining walls support adjacent buildings not part of the hotel/restaurant.

Three smaller buildings, a house, studio and shed are located across from the hotel on the other side of River Road.

RECENT HISTORY

The stone faced concrete retaining wall was apparently constructed to stop the soil settlement below the hotel. As will be described in greater detail within the report visible evidence suggests that soil mass at the rear of the hotel was shifting towards the Delaware River. This soil movement apparently caused the rear walls of the newer additions to settle approximately 3 to 4 inches.

During this inspection evidence of termites in the original wood framing was observed and an in-depth termite inspection is recommended.

HOTEL/RESTAURANT OBSERVATIONS

ROOF FRAMING:

Original Building -

Significant sagging can be seen in the roof line from River Road (Photo 1). The explanation for this condition is clear after observing the roof framing. The rafters have sagged due to undersize and excessive spacing. The collar ties are too few and too high in the roof framing to be effective. There are no ridge joists. (Photo 2)

Newer Additions -

The ridge line of the left addition exhibits significant sagging indicating that the roof framing is not structurally sound. (Photo 1)

The rear bedroom at the extreme left of the left addition exhibits sagging ceilings with cracked ceiling finishes and deformations outlining the framing. This is the area of observed roof

line sagging. We propose that ceiling and wall finishes be removed on both sides of the wall in order to determine the cause of the conditions mentioned above. The probe openings should be large enough to allow head access so that the roof framing can be observed (Photo 3). In addition, rough hewn timber members supporting the ceiling exhibit excessive deflections, inadequate bearing lengths (Photo 3a)

SECOND FLOOR AND BALCONY FRAMING:

Original Building –

The floors supported by the walls of the original building were reasonably level when using a 6 ft. bubble level for measurement however, given the condition of the original first floor framing (explained in detail further in this report) we recommend two ceiling probes to expose the framing for a condition evaluation given the age of the building.

Newer Additions –

The floors supported at the rear wall sloped down toward the rear walls from 3-1/2 inches at the left addition of the building to 4-1/2 inches at the right addition of the building.

A significantly rotted and deteriorated timber girder exposed during the 12-31-07 inspection was described in the letter sent to _____ identified as a Life Safety condition (Photo 4). This timber girder is supported by steel pipe columns within the first floor main dining room and is apparently not part of the original construction but was added to support both a balcony and second floor bedroom framing. Because the balcony slopes toward the timber girder for most of its length water has collected at the girder and has created the conditions for extreme rot. The girder, at the location exposed, has lost the ability to effectively support loads and appeared to be moist. We recommend that the entire interior wood soffit covering the girder system be exposed in order to determine the extent of deterioration (Photo 5). The steel pipe columns supporting the timber girder have been exposed to long term moisture and exhibit corrosion. These columns should completely exposed and investigated for loss of section.

The balcony at the extreme far right end (Photo 6) has sloped down toward the river approximately 3 inches and the railing has pulled away from the exterior face of the building by the same amount.

The steeper downward slope of the second floor at the right end may be due to the supporting timber girder compressing due to rot.

The extreme left rear bedroom of the left addition is cantilevered with a variable cantilever span and is supported by two timber stud knee braces. If these braces are necessary for structural reasons they appear to be too slender to be truly effective. (Photo 7)

FIRST FLOOR FRAMING:

Original Building –

The floors were significantly out-of-level when using a 6 ft. bubble level for measurement.

The floor framing is comprised of large rough hewn timber girders supporting rough hewn log joists. Every rough hewn log joist has at least one deep split along the bottom going approximately 2/3 through the joist and many have several deep splits (Photo 8). Many of these rough hewn log joists exhibit rot in the wall pockets probably due to excessively moist conditions (Photo 9). Water puddles were observed throughout the original basement during the inspection.

The main timber girder within the basement fireplace room has a significant deflection. This girder was discussed in the letter sent to _____, identified as a Life Safety condition (Photo's 10 & 11). This girder has a significant longitudinal split that has ripped open with torn wood fibers as the deflections increased. The floor joist/logs have been shimmed approximately 4 inches to accommodate these deflections.

Newer Additions –

Between the first floor kitchen above and to the left of the fireplace room seven temporary steel screw columns support the first floor framing in the mechanical room of the left addition's

basement (Photo's 12, 13 & 14). These columns are for temporary support only and are not adequate as permanent structural members. Their presence indicates significant structural deflections in the timber framing members.

The kitchen floor (probably slab-on-grade) within the newer left addition is cracked and sloping down toward the rear of the building. (Photo 20)

Newer Additions (Basement Level) –

The floor framing in the rear addition exhibits no flexing or vibrations with jumping indicating that the wood floor framing may be on a slab or on grade. We recommend that the flooring be removed in one area to expose the framing and what lies below. (Photo 21)

FOUNDATION:

Original Building –

The original foundations within the basement are made of stone and exhibit no significant deterioration or distress. Based on a visible stone outcrop seen in the floor of the adjacent rear addition, the original foundation may have been placed on stone which would explain why the original foundation shows no sign of distress due to the soil stability issues resulting in the construction of the stone faced concrete wall.

Newer Additions –

The concrete masonry unit (cmu) foundations of the newer additions have large diagonal cracks wider at the bottom than at the top indicating a slope stability failure causing the supporting soil to move away and down from the building toward the Delaware River. Photo's 17 & 18 show the crack caused by the apparent slope stability failure at the end of the left addition. Photo 19 shows the crack caused by the apparent slope stability failure at the end of the right addition (note that most of the crack is covered by siding).

Permanent steel and timber columns are observed without structurally adequate top and bottom anchorage. (Photo's 15 & 16)

RETAINING WALL OSERVATIONS

Available existing photos indicate that the stone faced concrete retaining wall, supporting the hotel/restaurant, is actually a concrete encased steel H-Pile wall with stone facing (Photo's 6 & 7). The retaining wall appears to be in sound condition with a slight inward inclination toward the hotel indicating that the top of the wall is closer to the hotel than the bottom of the wall. The wall appears to be stable and performing the structural function of retaining the soil mass which supports the hotel/restaurant. Minor efflorescence is visible indicating that water behind the wall is passing through cracks in the wall and leaching out minerals as the water evaporates. There was no observed reflective cracking through the stone face indicating that the concrete cracks are not structurally significant at this time.

The weep holes appear to be blocked and not functioning which allows the water to remain behind the wall for longer periods of time than if the weep holes were functioning and thereby exacerbating the mechanism causing the efflorescence.

Many of the stone coping stones have become dislodged and have fallen.

In our opinion, the retaining is stable at this time.

STUDIO:

The studio appears to be a slab on grade. We recommend that a test pit be dug to expose any wood foundation that may exist.

RECOMMENDATIONS

- 1 We recommend that probes be performed in the following locations: (Restore to original condition at completion of probes)
- 2 Ceiling and wall finishes in 2nd floor bedroom left addition
- 3 Two ceiling finish probes to expose typical original second floor framing.
- 4 Interior wood soffit in first floor main dining room
- 5 Expose floor framing in rear newer addition in order to determine if wood framing is on grade.
- 6 Expose six areas of the interior wall finishes, in the detached house, to determine the extent of wood deterioration if any.
- 7 Expose the foundation for the studio to determine whether foundation is wood or on slab.

A. We recommend that the roof framing for the original building be strengthened to meet the requirements of the Pennsylvania Uniform Construction Code.

B. We recommend that the roof framing and ceilings for the left addition be strengthened to meet the requirements of the Pennsylvania Uniform Construction Code.**

C. We recommend that the second floor and balcony framing in the rear addition be strengthened or replaced and the floor leveled to meet the requirements of the Pennsylvania Uniform Construction Code.**

D. We recommend that the second floor framing in the original structure be strengthened or replaced if required, based on the results of exploratory ceiling probes, to meet the requirements of the Pennsylvania Uniform Construction Code.**

- E. We recommend that the second floor cantilever knee bracing in the left addition be strengthened or replaced to meet the requirements of the Pennsylvania Uniform Construction Code.
- F. We recommend that the entire first floor framing in the original building and newer left addition be strengthened and replaced where necessary and all temporary columns be removed and all permanent columns properly anchored to meet the requirements of the Pennsylvania Uniform Construction Code.
- G. We recommend that the wall material on both sides of the wide diagonal cracks at both ends of the building be removed and replaced with similar material to meet the requirements of the Pennsylvania Uniform Construction Code.
- H. The floor framing within the basement level room in the rear addition may require replacement if the framing is in direct contact with the soil.**

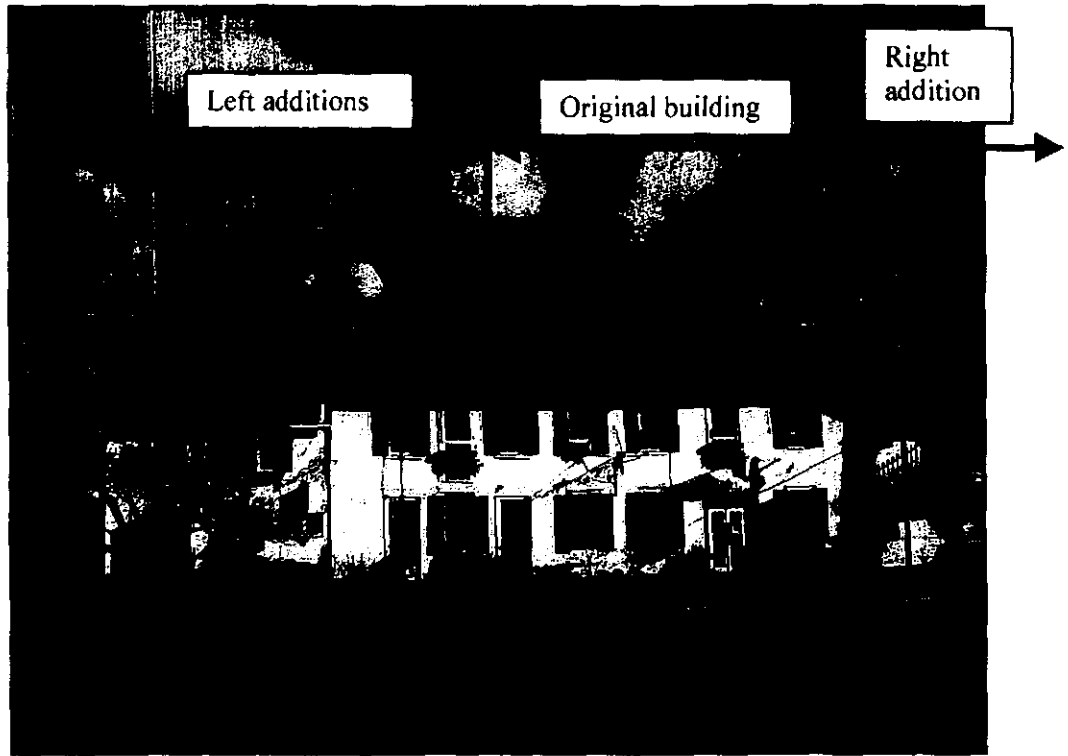


Photo 1: Front of hotel showing roof ridge sagging

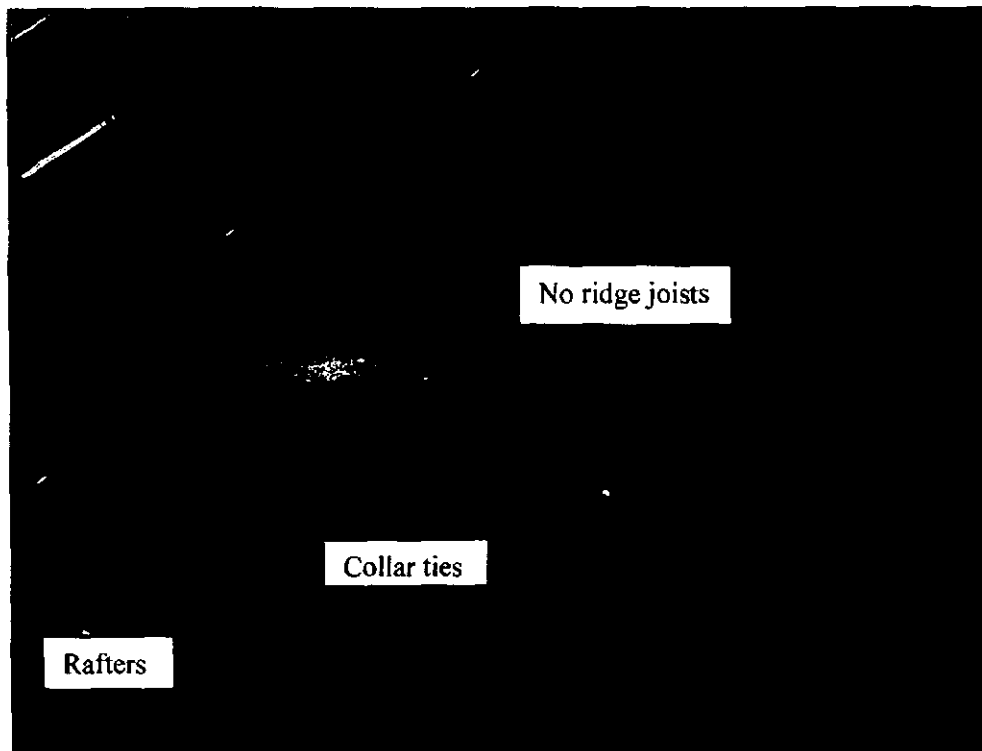


Photo 2: View of roof framing

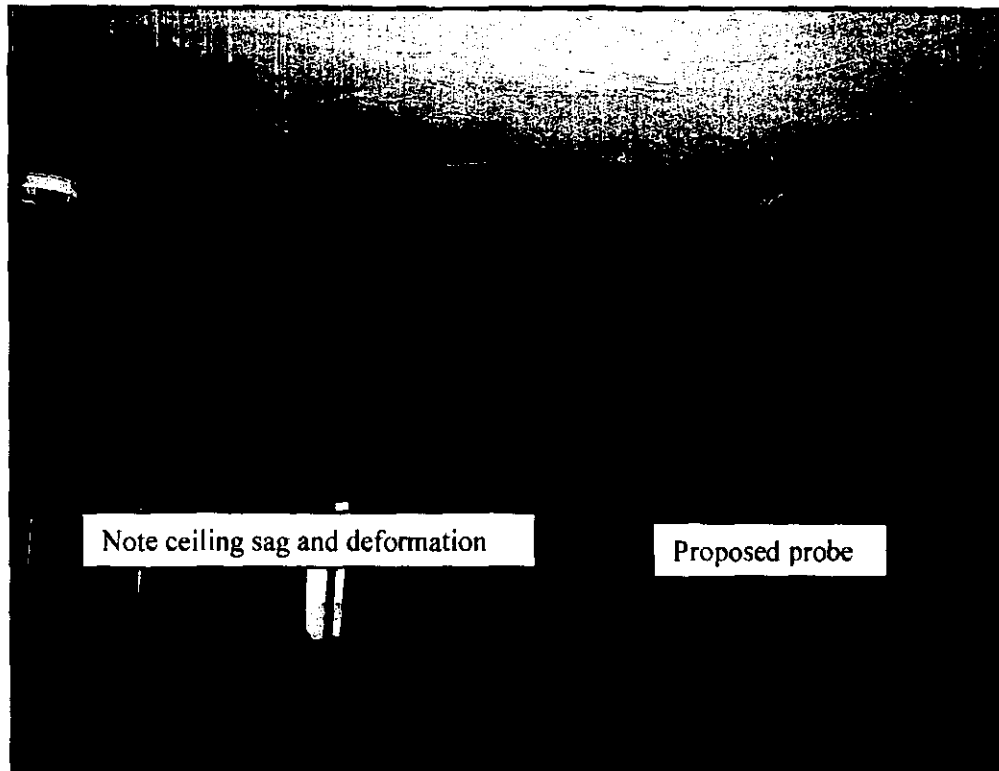


Photo 3: View of rear bedroom ceiling in left of original build.

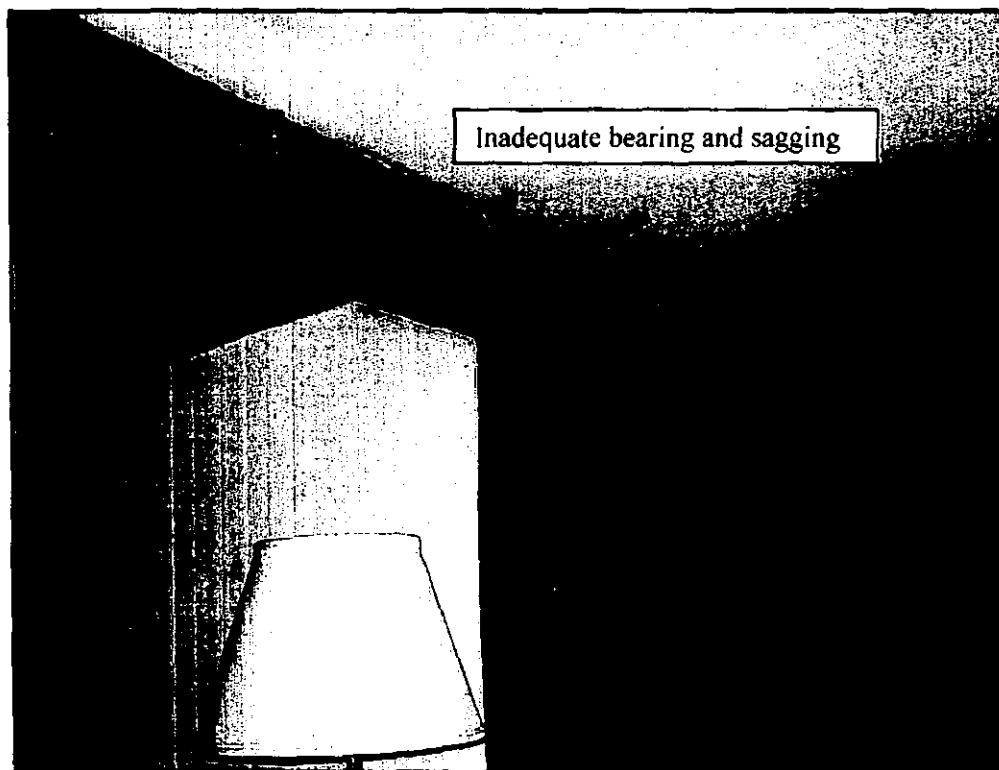


Photo 3a: View of rear bedroom ceiling framing.

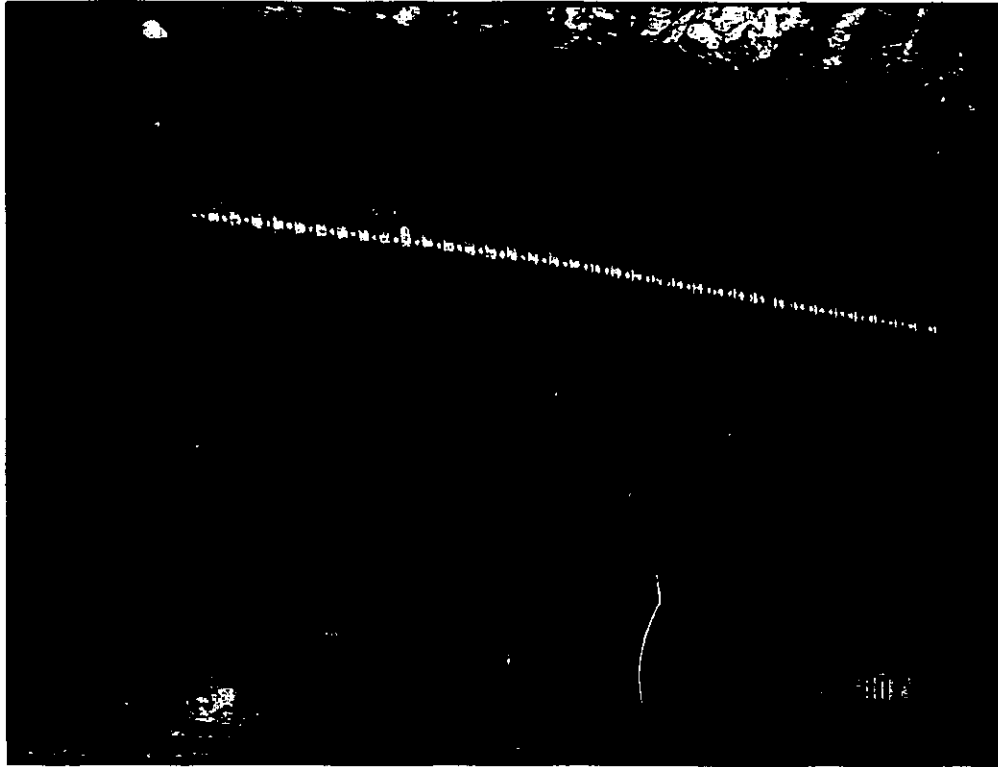


Photo 4: View of wood rot in timber girder exposed during the 12-31-07 inspection

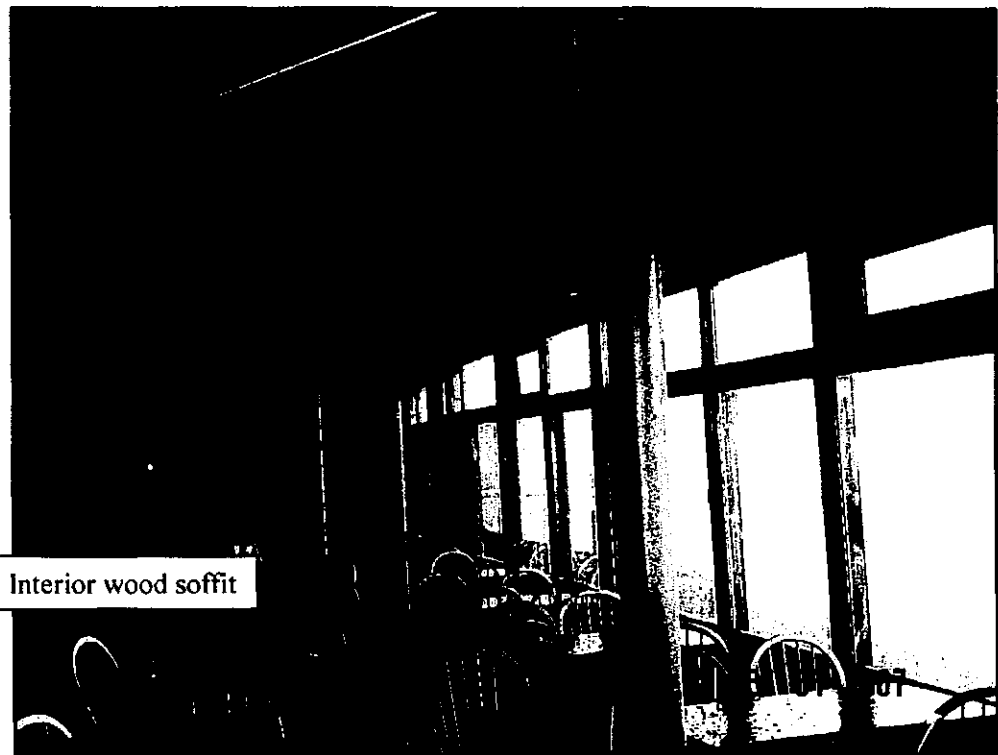


Photo 5: View of interior wood soffit to be removed in first level main dining room

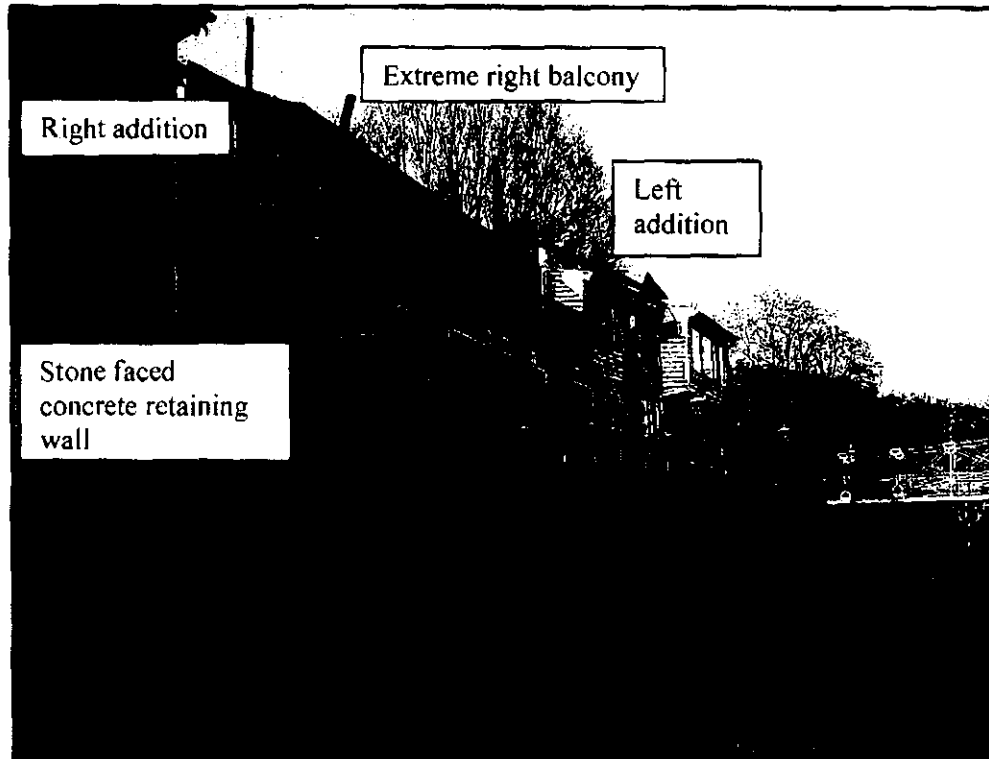


Photo 6: View of the rear of the building

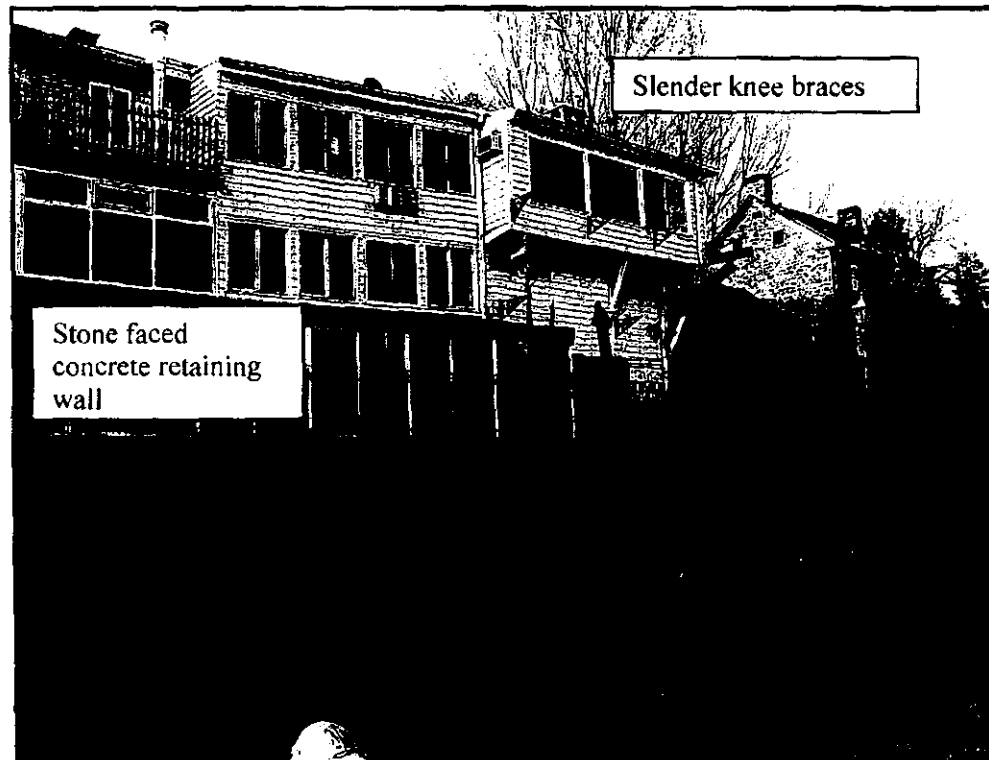


Photo 7: View of the left rear of the building

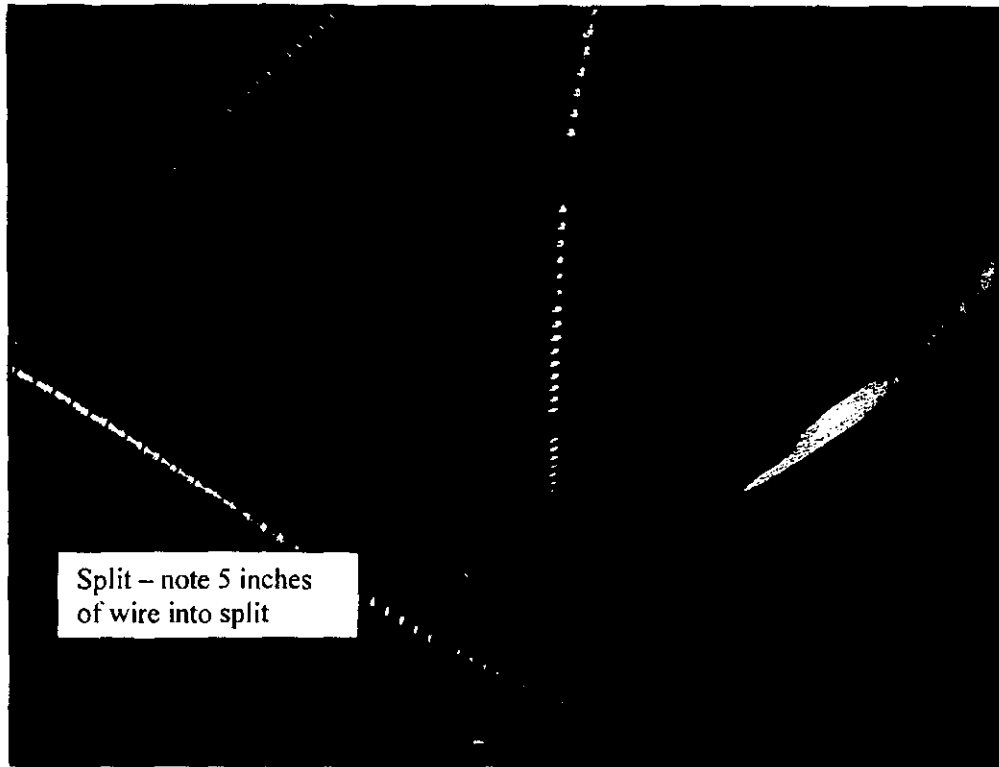


Photo 8: View of the typical first floor rough hewn joist log

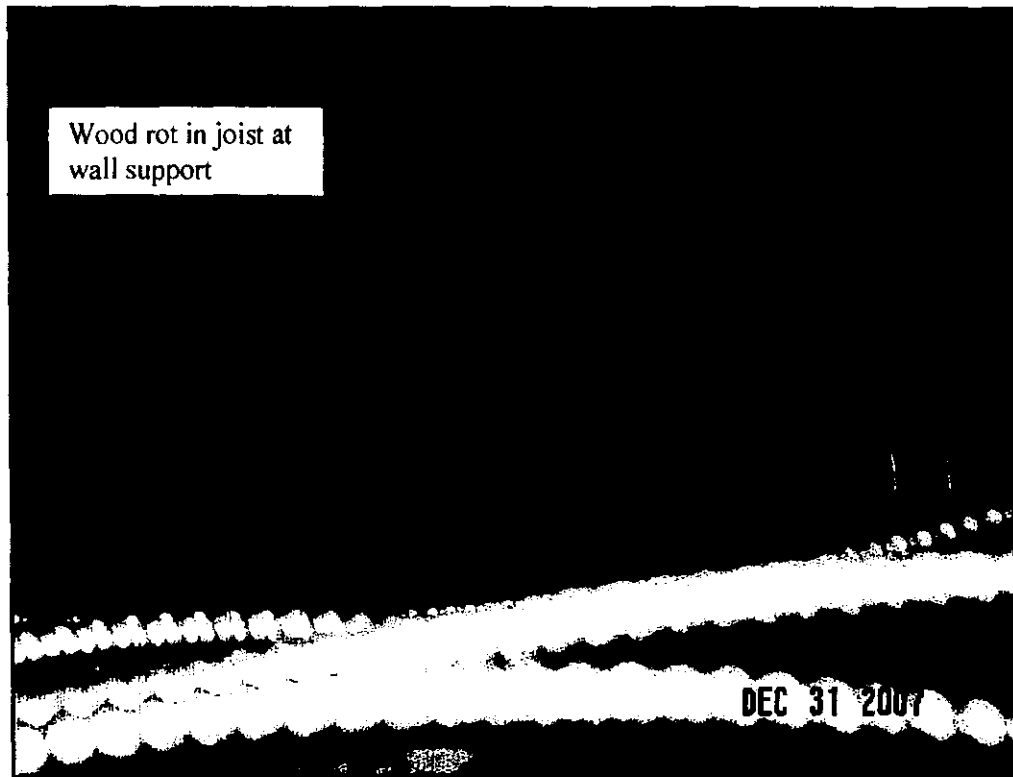


Photo 9: View of the typical first floor rough hewn joist log with rot at wall support

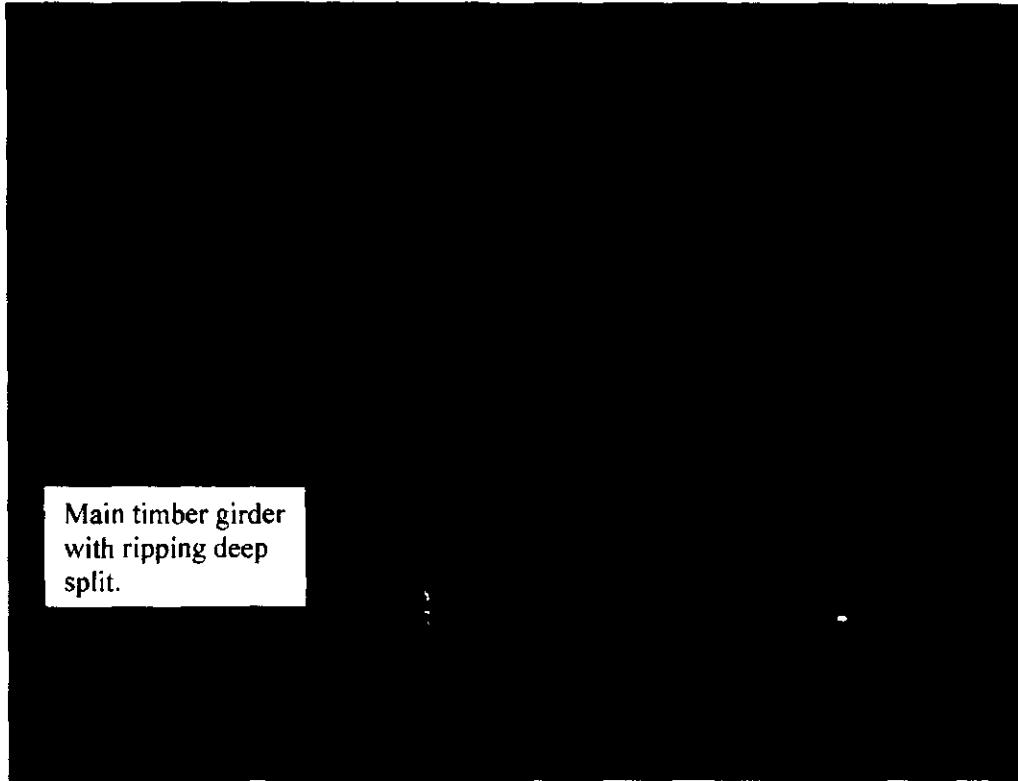


Photo 10: View of the main timber girder in basement fireplace room

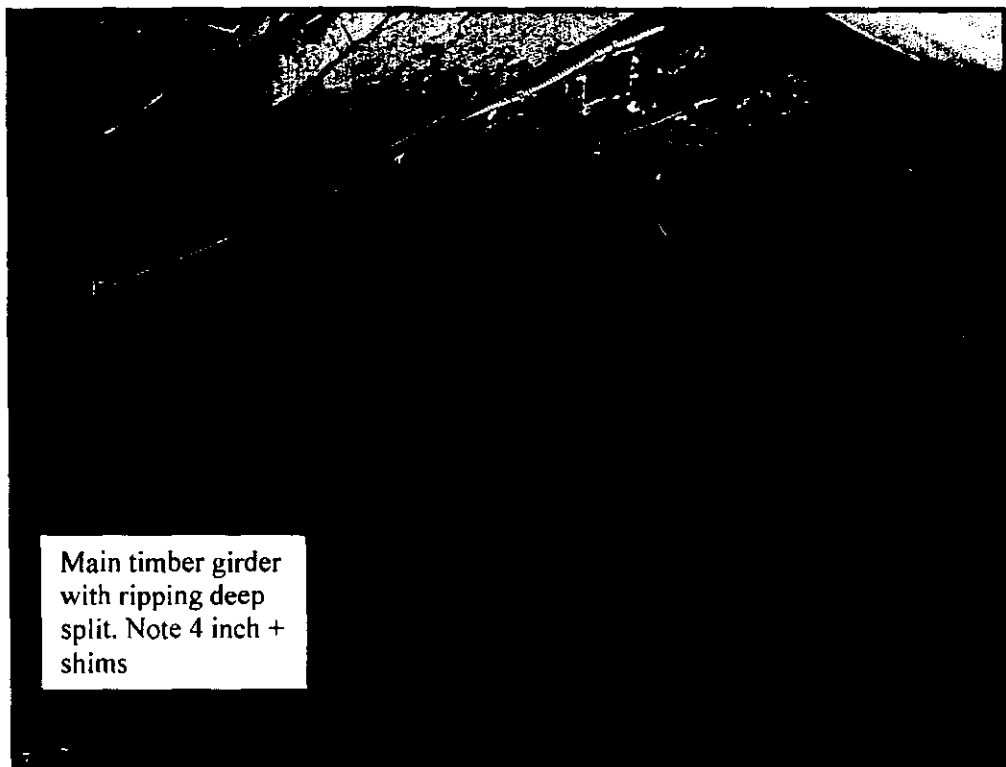


Photo 11: View of the main timber girder in basement fireplace room

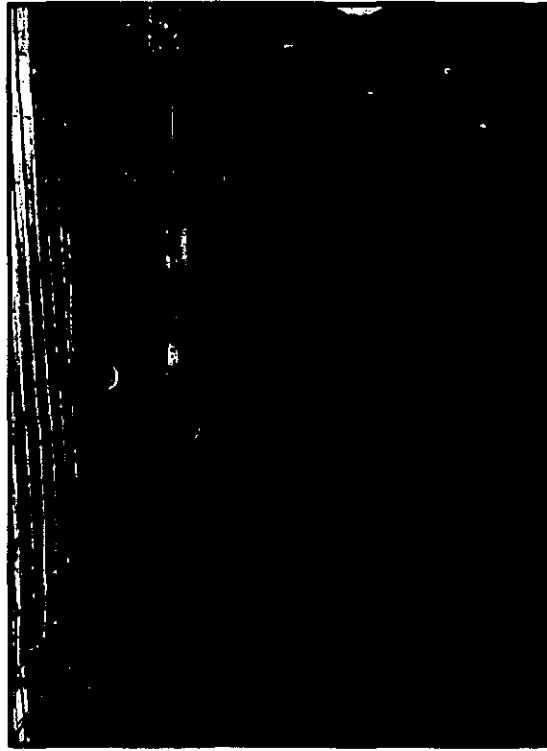


Photo 12: View of mechanical room with temporary steel screw columns



Photo 13: View of mechanical room with temporary steel screw columns

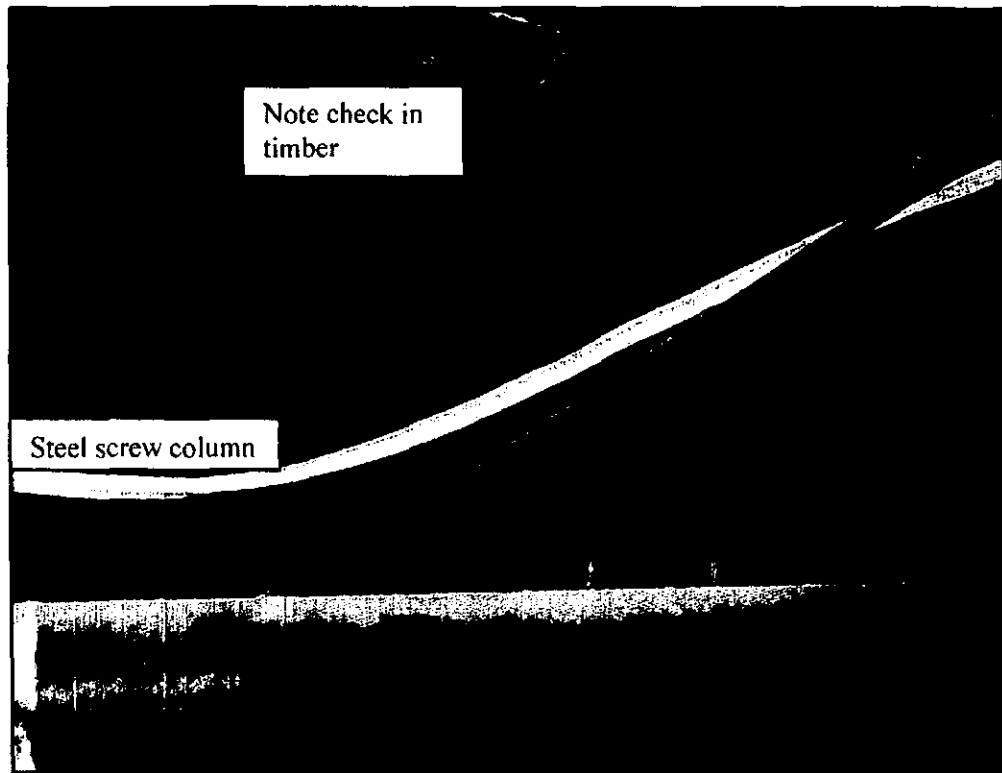


Photo 14: View of mechanical room with temporary steel screw columns

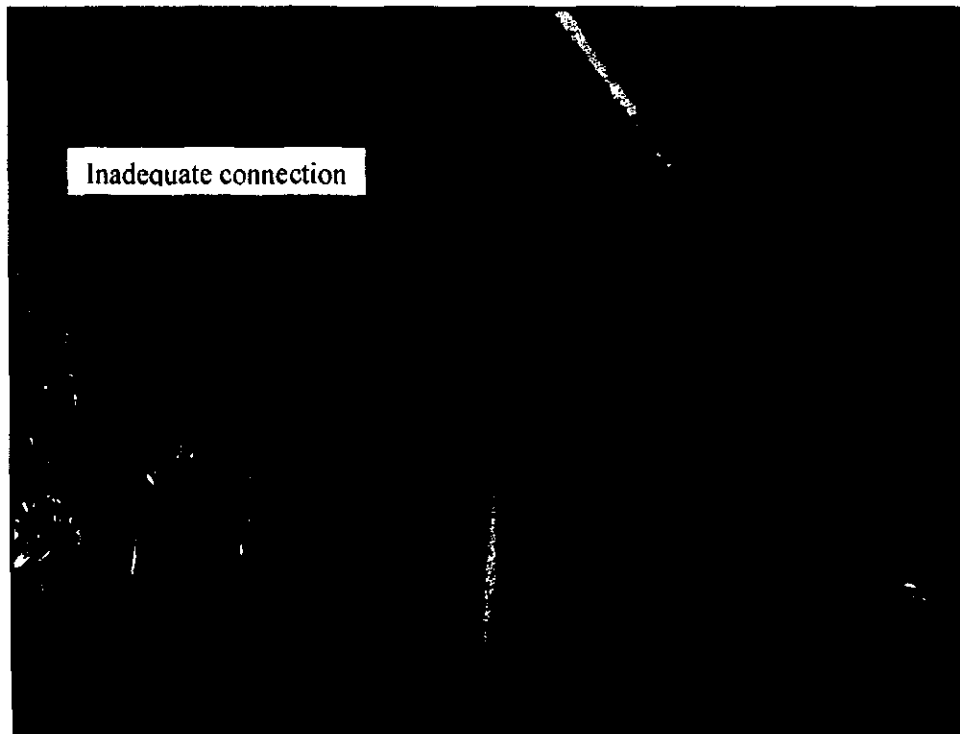


Photo 15: View of basement level steel column in newer left addition.

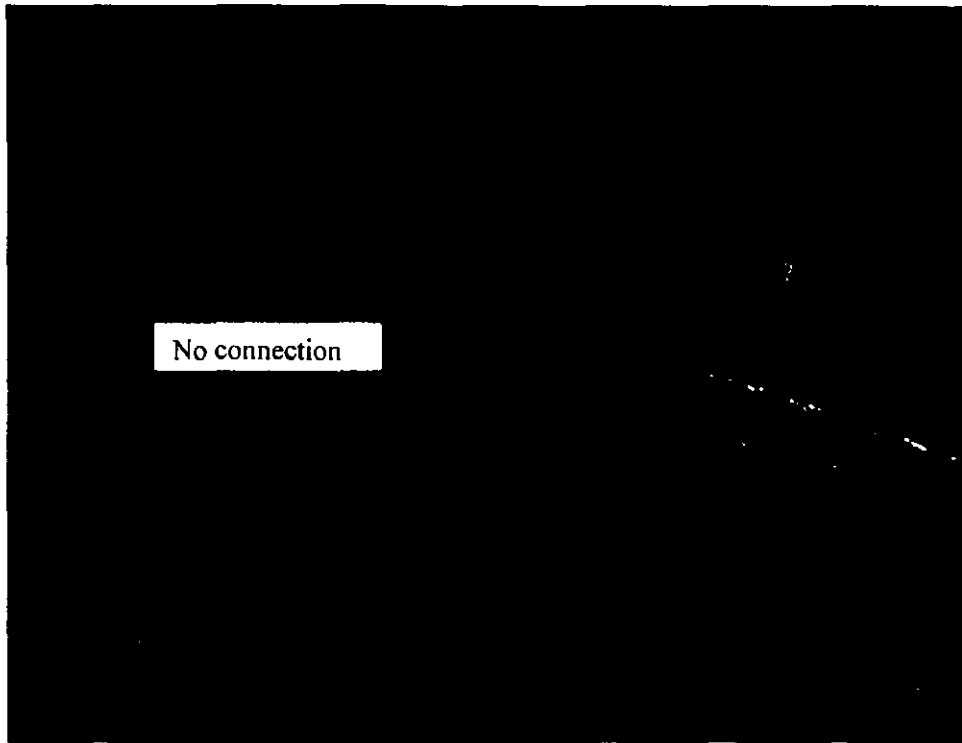


Photo 16: View of basement level wood column in newer left addition.

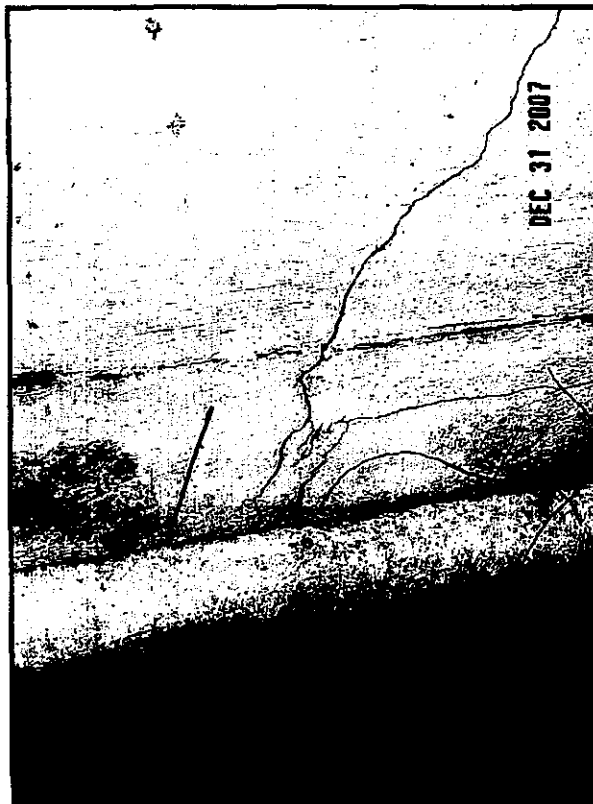


Photo 17: View of diagonal foundation crack at grade – side of left addition



Photo 18: View of same diagonal crack above at termination – side of left addition



Photo 19: View of same diagonal crack at foundation – side of right addition

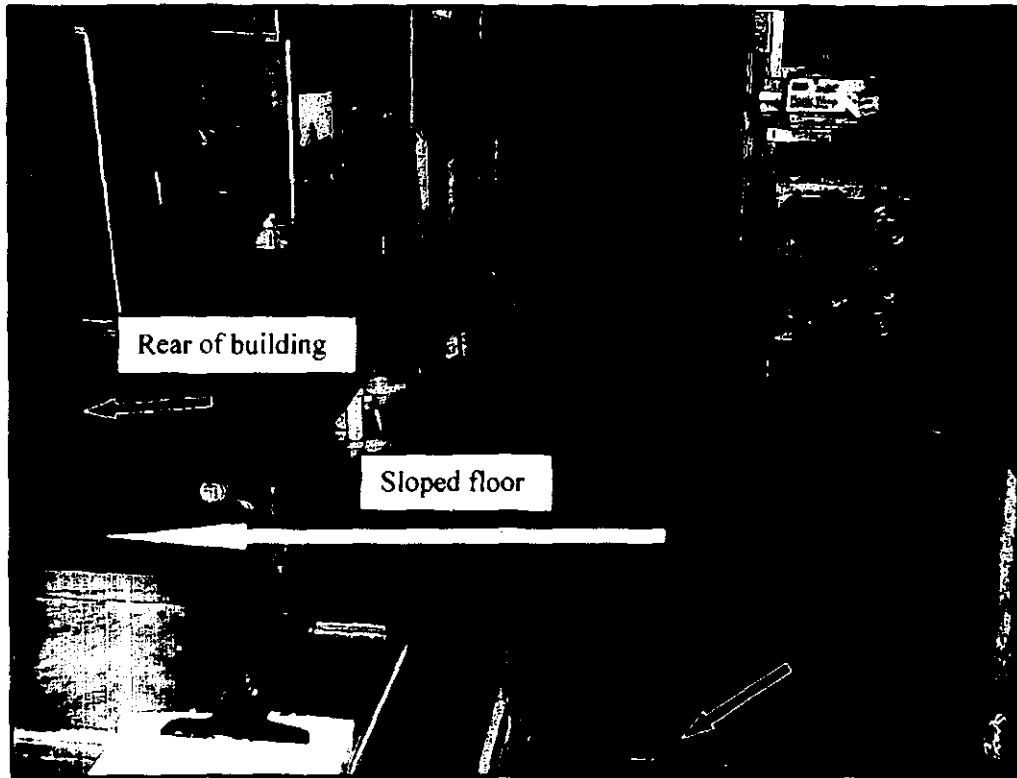


Photo 20: View of crack and sloping kitchen floor slab-on-grade – left addition

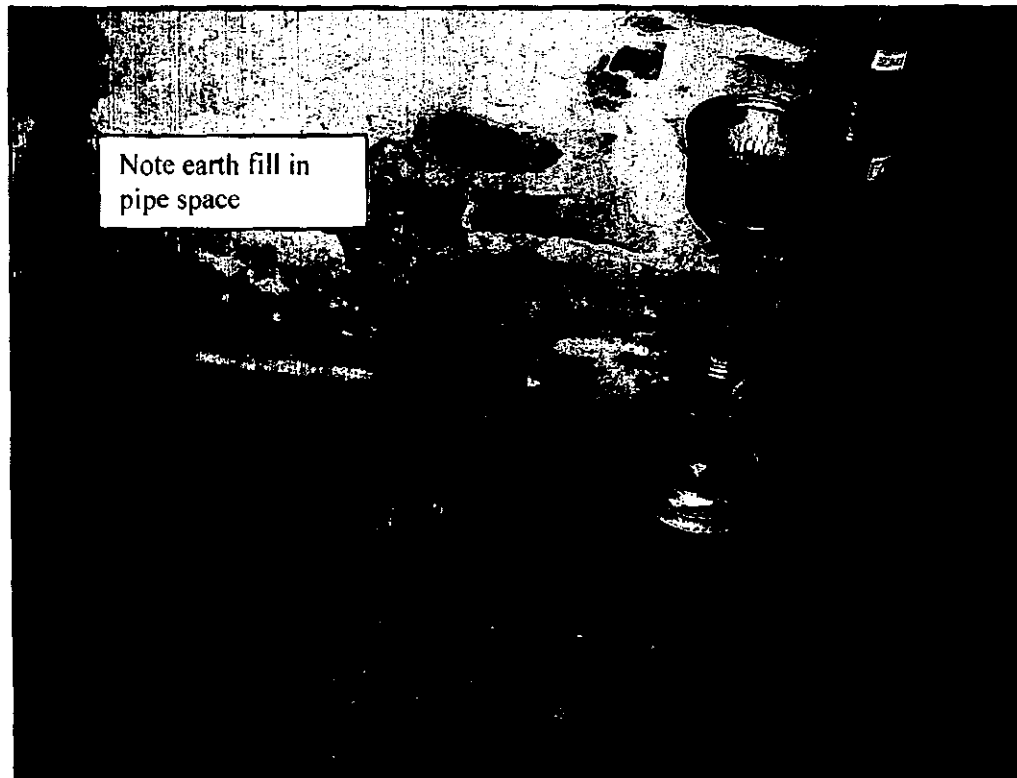


Photo 21: View of basement level flooring for newer addition. Note perforations for pressure treatment

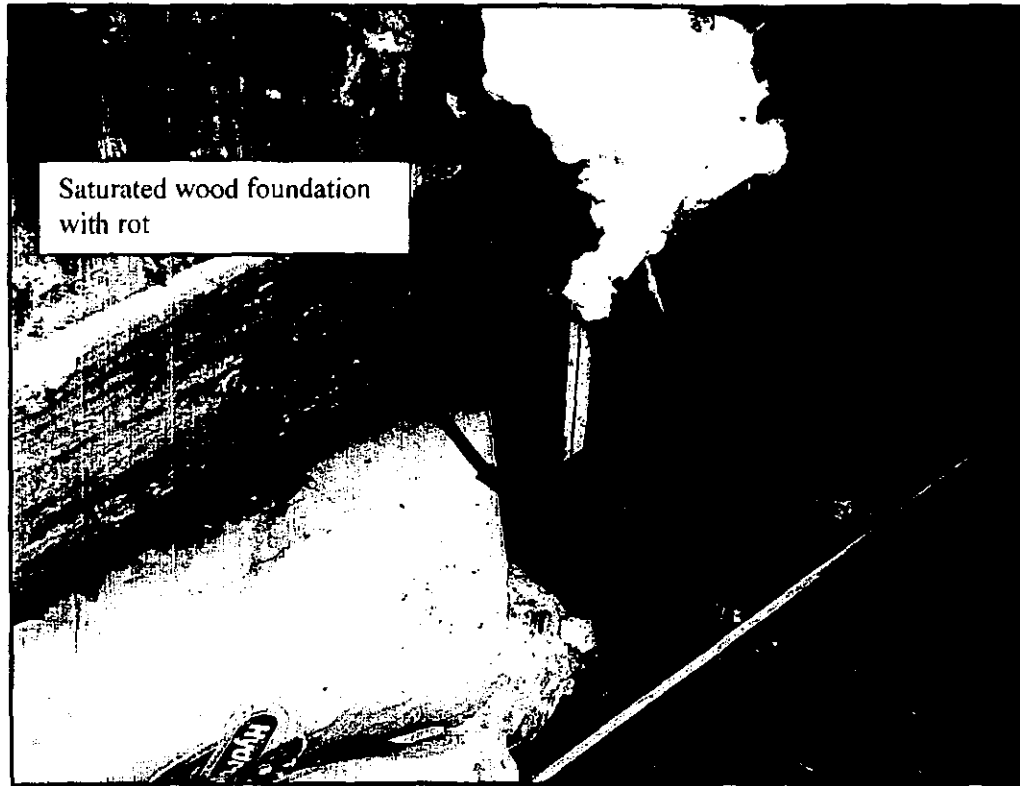
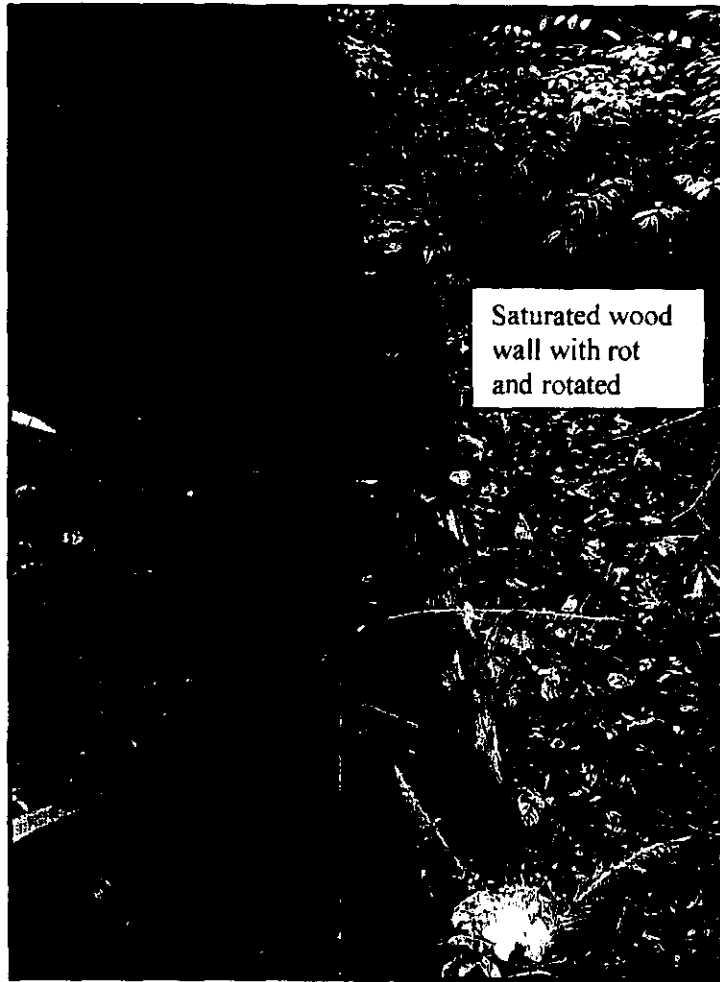


Photo 22: View of crawl space access



Photo 23: View of timber retaining wall



Saturated wood
wall with rot
and rotated

Photo 24: View of timber retaining wall